

DESIGNED
WITH LIFE
IN MIND

FIFTY

IVAN ALLEN BLVD, ATLANTA



BIKE →



V I E W S

TO THE FUTURE OF WORK

Progressive and sophisticated, FIFTY Ivan Allen breathes new life into the Atlanta skyline delivering its healthiest workplace address. It reflects a shift towards a balanced and greener future and a need for safer work environments—drawing innovative businesses and driving their growth.

800,000 RSF of office and amenity space that soars 45 stories above the epicenter of the dynamic Arts & Entertainment District, FIFTY delivers people-centered form and function in a prime location. Designed with the future of work in mind, it engages and connects—elevating the overall wellness and experience of its occupants and visitors.

But experiencing is believing. Let's tour a day in the life at FIFTY—walking through **place, space and wellbeing.**

AT A GLANCE



45 Stories
With 30 office floors



800,000 SF
Net rentable area



20,000 SF
Customizable retail amenity



29,000 SF
Average floor plate



16 Elevators
With direct access from parking



Full Amenity Floor
With world-class facilities



Bike Concierge
200 bike parking spaces,
luxury locker and shower facilities



Health and Wellness
A building that promotes occupant's
wellbeing



Green Building
Design and features



2/1,000 Parking
with executive garage



Healthy Building
Indoor environment technologically
optimized for health



**A living, breathing
building façade**
With fresh air atria on each floor



Signage
The best building signage opportunity in
the Southeast



ESG
Building designed and developed to
conform to modern ESG criteria



P L A C E

MORE THAN AN ADDRESS

FIFTY is more than an address. It's a connection to a community and its values, history and future. Located within Atlanta's diverse, culturally rich and bustling Arts & Entertainment District, it's surrounded by lifestyle elements that attract talent and drive innovation:

EDUCATION – Georgia Institute of Technology, nationally renowned for innovation and 4 Historically Black Colleges and Universities (HCBU), Morehouse College and Morehouse School of Medicine, Spelman College, and Clark Atlanta University, Georgia State, Emory

MUSEUMS – Center for Civil and Human Rights, Atlanta History Center, World of Coca-Cola, College Football Hall of Fame

ENTERTAINMENT – Centennial Olympic Park, State Farm Arena, Georgia Aquarium, Mercedes Benz Stadium, World Congress Center

OUTDOOR RECREATION – Atlanta BeltLine, Chastain Park, Stone Mountain Trail, The Freedom Path, Piedmont Park

FLIGHT – Hartsford-Jackson Atlanta International Airport.

TRANSIT ACCESS – Interstate 85, Interstate 75, major thoroughfares, walkable to Civic Center MARTA station



OUT OF THE
TOP 25 SILICON
VALLEY
COMPANIES
GEORGIA TECH
RANKS #6 IN
THE WORLD FOR
VOLUME OF HIRES.

A CONNECTION TO A COMMUNITY AND ITS VALUES, HISTORY AND FUTURE.

Midtown

5 Minute Drive

Employees

200,000

Students

90,000

Old Fourth Ward

5 Minute Drive

Annual visitors

15 Million

Hotel nights booked

3 Million

Buckhead

15 Minute Drive

Regional bus routes

25

MARTA Stations

9

Airport

15 Minute Drive

Shops & Restaurants

816



NATIONAL CENTER FOR
HUMAN & CIVIL RIGHTS



CENTENNIAL
OLYMPIC PARK



15 MINUTE WALKABLE SUB-MARKET



PLACE

THE SPICE OF LIFE

In Atlanta's bustling downtown, Fifty Ivan Allen is perfectly placed to enjoy the city's renowned dining, arts and cultural scene.

When it comes to food, variety is the spice of life. FIFTY offers impressive nearby eateries, such as Marcel, The Optimist, Barcelona, Little Trouble, and Le Fat.



ATLANTA RANKINGS

Doing business is easy in the State of Georgia, ranking #1 for the last seven years in Site Selections Magazine’s annual survey of business climates. With its pro-business tax structure and incentives, to its low cost of living and high quality of life, it’s a major magnet drawing top-tier companies and talent.

NUMBER 1

Metro area for economic growth potential
(among large metro areas)

NUMBER 1

City for startups that is not New York or San Francisco

NUMBER 1

State for doing business for the sixth consecutive year

NUMBER 1

State for business climate for the seventh consecutive year

NUMBER 2

Metro area for quality of engineering universities

NUMBER 3

Metro area for total corporate facilities investment projects site selection

NUMBER 4

Metro area for corporate headquarters

NUMBER 6

Metro area for new job creation



Fortune 1000 Companies Headquartered in Atlanta

Rank	Company	Rank	Company
27	The Home Depot	469	Intercontinental Exchange
41	United Parcel Service (UPS)	479	HD Supply Holdings Inc.
69	Delta Air Lines Inc.	480	Graphic Packaging Holdings Co.
100	The Coca-Cola Company	647	Aaron's Inc
131	The Southern Company	665	Acuity Brands Inc.
169	Genuine Parts Company	689	Carter's Inc.
190	Westrock	696	Equifax Inc.
241	Norfolk Southern	703	Global Payments Inc.
304	Suntrust banks	786	Bluelinx Holdings Inc.
312	PulteGroup Inc	852	GMS Inc.
335	AGCO	872	Fleetcor Technologies Inc.
347	Veritiv	955	SiteOne Landscape Supply
439	Asbury Automotive Group Inc.	956	Beazer Homes USA Inc.
465	NCR Corporation		

W E L L N E S S I M P R O V E S T H E B O T T O M L I N E

Assumptions	
Company ABC Employee Count	1,250
Average SF per Employee	200 SF
Total Office Footprint	250,000 SF
Total Revenue	\$200,000,000
Rental Rate Cost Impacts	
Class A Rent per SF	\$28
FIFTY Rent per SF	\$40
Annual Premium per Employee	\$2,400
Hourly Premium per Employee	\$0.92
Tangible Health/Wellness Benefits	
Payroll Health Savings (1.6 fewer sick days per employee) ¹	\$985
Employee Productivity Boost (2% of Revenue) ²	\$3,200
Annual Health/Wellness Benefit per Employee	\$4,185
Rental Rate Cost Impacts	
Net Benefit per Employee for choosing FIFTY	\$1,785
Total Net Annual Benefit	\$2,230,769

(1) D.K. Milton et al., "A Study of Indoor Carbon Dioxide Levels and Sick Leave among Office Workers"

(2) Source: P. Wargocki et al., "The Effects of Outdoor Air Supply Rate in an Office on Perceived Air Quality, Sick Building Syndrome (SBS) Symptoms and Productivity"

S T A T E O F G E O R G I A J O B T A X C R E D I T S

GEORGIA 2020 JOB TAX CREDIT TIERS

This map is current based on information provided by the Department of Community Affairs as of January 2020.

JOB CREATION TAX CREDITS

JOB TAX CREDIT
New and expanding companies may earn Job Tax Credits for creating new jobs in Georgia. These credits can effectively eliminate a company's corporate income tax liability, and in certain areas can also reduce the company's payroll withholding obligations.

Each year, all 159 Georgia counties are assigned to one of four "tiers" based on the unemployment rate, per capita income, and poverty rate. Counties in Georgia's less developed areas offer higher benefits and have lower qualification requirements.

A county's tier level determines the value of the tax credits earned, and the minimum number of net new full-time jobs that must be created to qualify. Each job must be maintained for five years, and the credit value is earned for the first five years of the job's existence.

TIER	JOB TAX CREDIT \$ (FOR 5 YEARS)	MIN. NEW JOBS	USE OF CREDITS**	CARRY FORWARD
1	\$4,000*	2	100% of tax liability - excess to withholding up to \$3,500	10 years
2	\$3,000*	10	100% of tax liability	10 years
3	\$1,750*	15	50% of tax liability	10 years
4	\$1,250*	25	50% of tax liability	10 years
MZ/OZ	\$3,500	2	100% of tax liability - excess to withholding	10 years
LDCT	\$3,500	5	100% of tax liability - excess to withholding	10 years

*Includes \$500 bonus for Joint Development Authority (JDA). Georgia counties can form partnerships that benefit companies with this \$500 Job Tax Credit bonus. The majority of counties are in a JDA. To confirm a county's status, please call 404.962.4181.
**Tax credits are applied to Georgia corporate income tax liability.
MZ= Military Zone OZ= Georgia Opportunity Zone LDCT= Less Developed Census Tract

Job Tax Credit

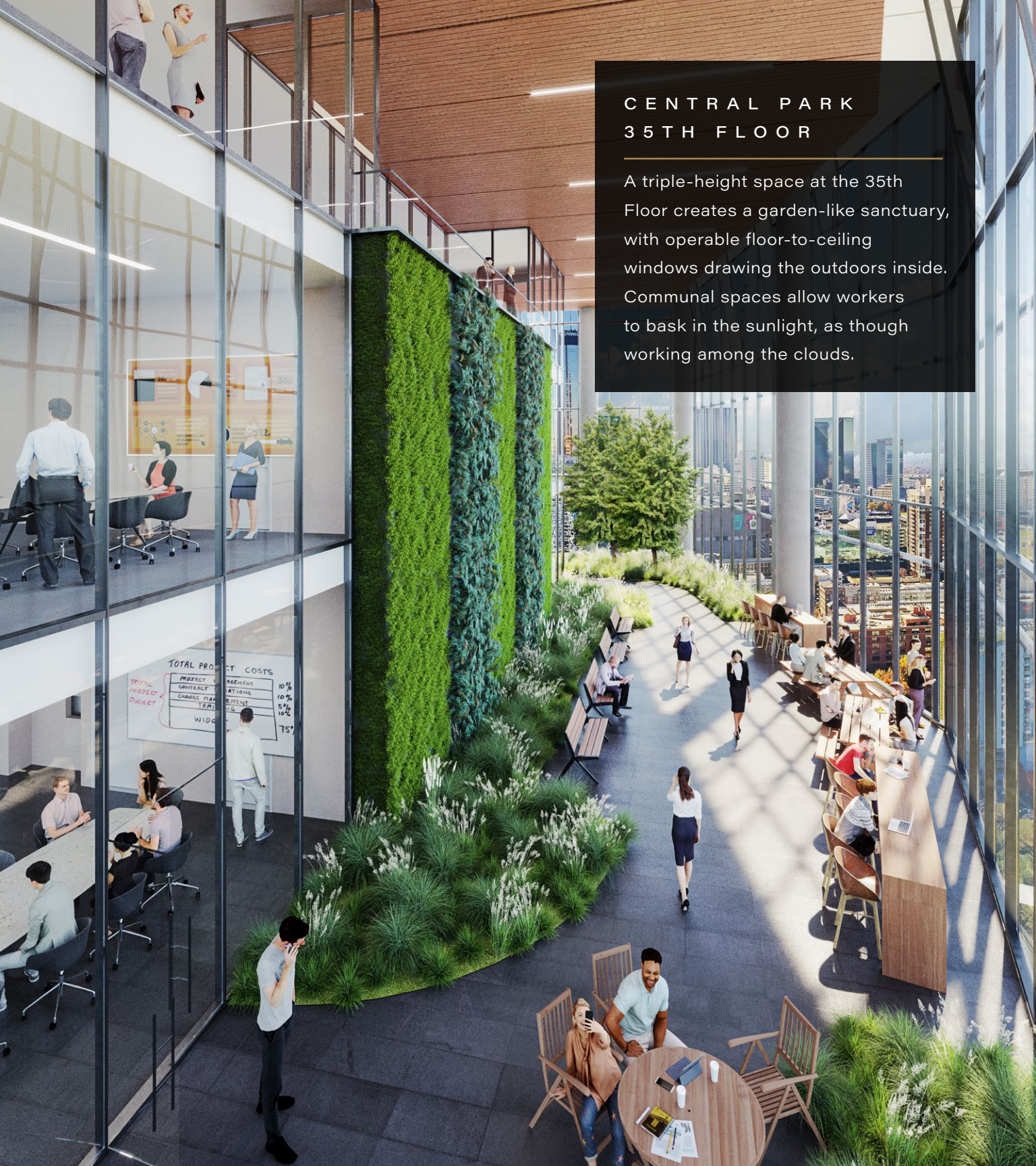
A distribution facility chooses to locate in a Tier 1 County and create 150 jobs new to Georgia which are maintained for 5 years.

Credit value: \$4,000 in Tier 1 location

Example Calculation:
150 jobs x \$4,000 credits x 5 years
= \$3,000,000 total credits to claim

6

7



CENTRAL PARK
35TH FLOOR

A triple-height space at the 35th Floor creates a garden-like sanctuary, with operable floor-to-ceiling windows drawing the outdoors inside. Communal spaces allow workers to bask in the sunlight, as though working among the clouds.

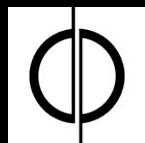
S P A C E

SETTING THE
NEW STANDARD

DUDA | PAINE CORPORATE
EXPERIENCE

Duda | Paine's experience includes an impressive mix of build-to-suit projects across education, health and wellness, the arts, retail and office towers. With a proven track record for designing state-of-the-art commercial projects locally, Duda | Paine most recently delivered 750,000 SF of campus style office space across two towers in Midtown Atlanta.

With recent focus on the future of the workplace, Duda | Paine architects have designed some of the first post-Covid offices; setting new standards for adaptability—because one size never did fit all.



DUDA | PAINE
ARCHITECTS

First impressions are important, and FIFTY doesn't disappoint. Setting the standard for every interaction that happens after that first impression was carefully conceived. Personally designed by Duda Paine Architects, the beauty of FIFTY is more than façade deep.

SKY GARDEN 45TH FLOOR

With a blank canvas on the 45th Floor, the opportunities for tenants are endless. Beautiful shared spaces allow workers to relax, mingle and even exercise – the floor is currently thought up with a rock-climbing wall an impressive 750 feet in the air.

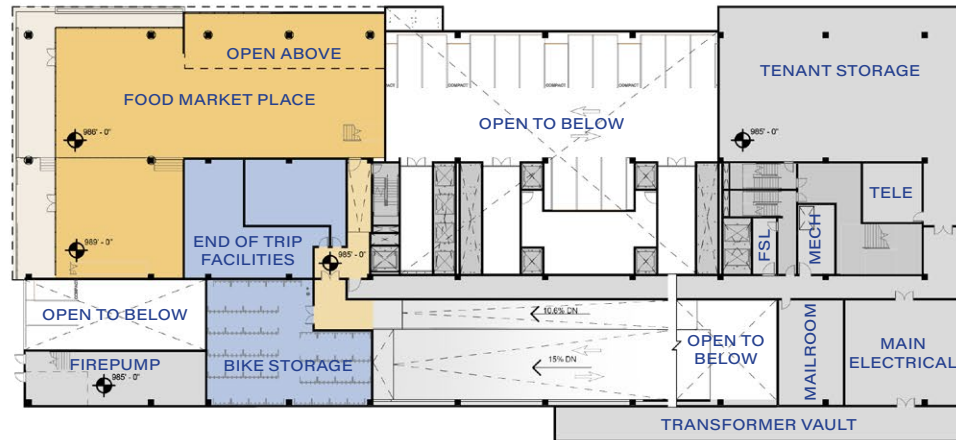


FIFTY

The workday at FIFTY not only looks different, it feels different. From the moment you enter through the grand lobby, all five senses ignited through a variety of unique settings and amenities. From ground floor restaurants, direct access elevators from the VIP and regular parking decks, to a full floor amenity space that delivers an outdoor terrace with exterior elevator access, FIFTY is designed to bring out the best in the workplace.



ARRIVING AT **FIFTY** ON TWO WHEELS OR FOUR



BY TWO WHEELS: BIKE STORAGE AND REPAIR FACILITY

FIFTY features incomparable end-of-trip facilities to support an agile and flexible workplace and enhance the wellness of occupants. Encouraging an active commute, workers have access to sophisticated, resort-style shower and locker rooms, bike storage and bike repair.

BY FOUR WHEELS: DIRECT ACCESS PARKING

Enjoy the security and convenience of parking directly at the office. Elevator banks ensure efficient access directly to tenant parking, bypassing any public and common areas.

VIP PARKING

The premium office experience is extended with VIP parking for company executives. Spanning two underground parking levels, executives can enjoy four dedicated VIP elevators providing direct access to tenant floors.





F I F T Y

Prioritizing health and wellbeing in a contemporary and brand building space, occupants will experience natural light and fresh air atria on every floor; a fitness center, spa and wellness facility. On the 35th and 45th floors Central Park and the Sky Garden offer green living walls and garden areas, communal and collaborative areas, operable floor to ceiling windows with views, and a 750' rock-climbing wall at 750' above the street grid.



INFORMAL WIFI & AV ENABLED MEETING

Shaded informal meeting spaces with flexible seating options bring the greenscape from the ground up onto the building

OUTDOOR DINING

A spacious exterior dining area provides occupants somewhere to sit back, enjoy a meal and a drink and take in the views.

BARISTA & PATIO BAR

A curated cafe and bar provides an opportunity for tenants to grab a quick drink without having to travel back down to ground level throughout the day. The stunning exterior greenscape provides ample space to relax and enjoy a drink.

INDOOR-OUTDOOR DINING

Nana walls allow for fresh air to circulate through the sky lobby space and the restaurant. These openings expand the occupant area from within the building to out on top of the parking deck podium.

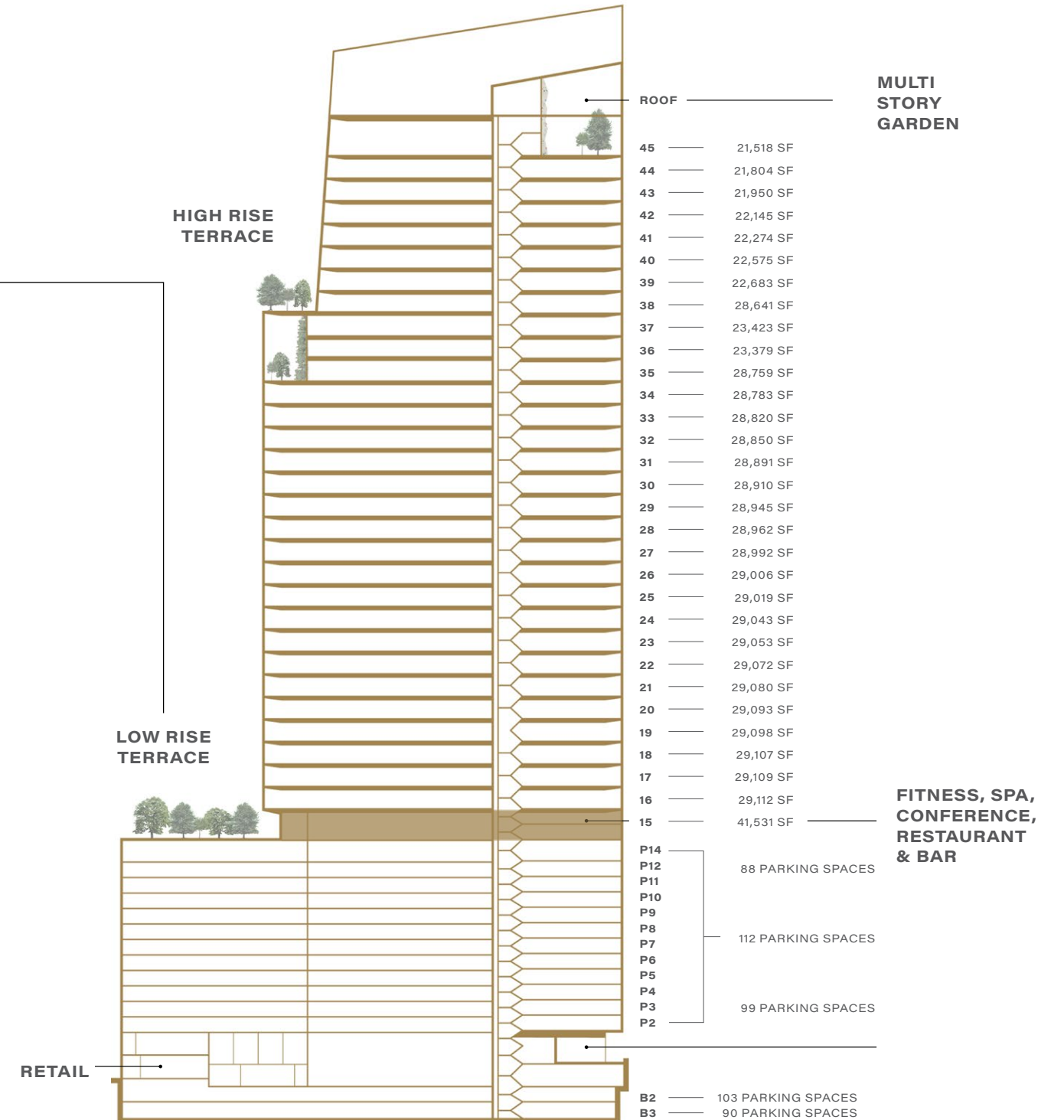
EXTERIOR CONFERENCE

Outdoor meeting spaces with access to power, data and privacy screening. Utilizing exterior roof space to expand occupiable footprint allowing for greater occupant separation.



Customizable, 30,000 SF open floor plates offer greater flexibility. With an exceptional design component unique in Atlanta, the building core is separated by an additional 30' bay providing tenants with a grand, personalized sense of arrival.

The split core design provides tenants with the flexibility to design and customize their own double height lobby space. Imagine stepping off the elevator to arrive at your private coffee bar, conference facility, branded reception area, gallery or showroom. Create your own arrival—an entrance with a wow factor, and one that fits your business perfectly.



CLICK ON FLOOR TO VIEW FLOOR PLATE

INFORMAL MEETING SPACE

Shaded informal meeting spaces with flexible seating options bring the greenscape from the ground up onto the building.

OPENABLE WINDOWS

Openable windows linked with the building management and HVAC systems provide fresh air and cross ventilation while coordinating with optimal exterior weather conditions. Similar to the Juliet Balcony, these 2 story spaces let the exterior come within, in a controlled setting.

INTERCONNECTING STAIRS

Interconnecting stairs in 2 story clean atria provide alternate circulation paths in lieu of elevators.

CLEAR CONFERENCE ROOMS

Larger conference spaces provide more space for seating. Smart shading glass creates visual clarity and privacy when needed, while utilizing hard, easy to clean surfaces.



TE'S HOUSE Brew 2.75 / 3.75
FE' LATTE 3.75 / 4.75
FE' Au 3.25 / 4.25
PPUCCINO 3.75
ESPRESSO 2.75
MACCHIATO 3.25
NO 2.75
3.50

Housemade
GOLD BREW 4.25 / 5.25
ICED LATTE 4.75

Milks / Alt-Milks
We use local MILK-KIND milk & 2% milk
ALMOND - SOY - COCONUT - HEMP
MACADAMIA - add .75

SYRUPS
VANILLA - CARAMEL - MAPLE - DARK CHOCOLATE

35

TYPICAL OFFICE LOBBY WITH SPLIT CORE DESIGN

the brew

LATTE
CAPPUCCINO
AMERICANO
ESPRESSO
MACHIATTO
DRIP

drapac

SPLIT CORE DESIGN ALLOWS FOR MAXIMUM LOBBY CUSTOMIZATION

WELL BEING

DESIGNED WITH **WELLNESS BUILT IN** AND IN RESPONSE TO COVID-19

Past built environments often work against our health and wellness, but FIFTY is purpose-driven—purposefully putting people’s wellness at the center of the conception and design.

FIFTY builds in the connection to nature—bringing the outdoors inside with green walls and gardens, and the indoors outside, with easily accessed outdoor terraces with community seating, sweeping views and fresh air. Not just an amenity, but a necessity in the workplace that decreases stress and influences positive mental health.

Designing clear access to clean air is one of the best ways to keep pathogens at bay and people healthy. FIFTY delivers alternating fresh air atria woven vertically through the

center of the building, uniting the Building Management Systems with operable windows to utilize the chimney effect, creating efficiencies and easing demand on mechanical systems.

The greatest health risks we face today are a result of sedentary lifestyles and lack of exercise, poor diet, stress, pollution, and alienation. FIFTY’s design encourages movement and connection. With a state-of-the-art gym, rock climbing wall, bike storage and repair, locker room facilities, bright walkways, and areas to create community, FIFTY is designed with the future of work in mind.

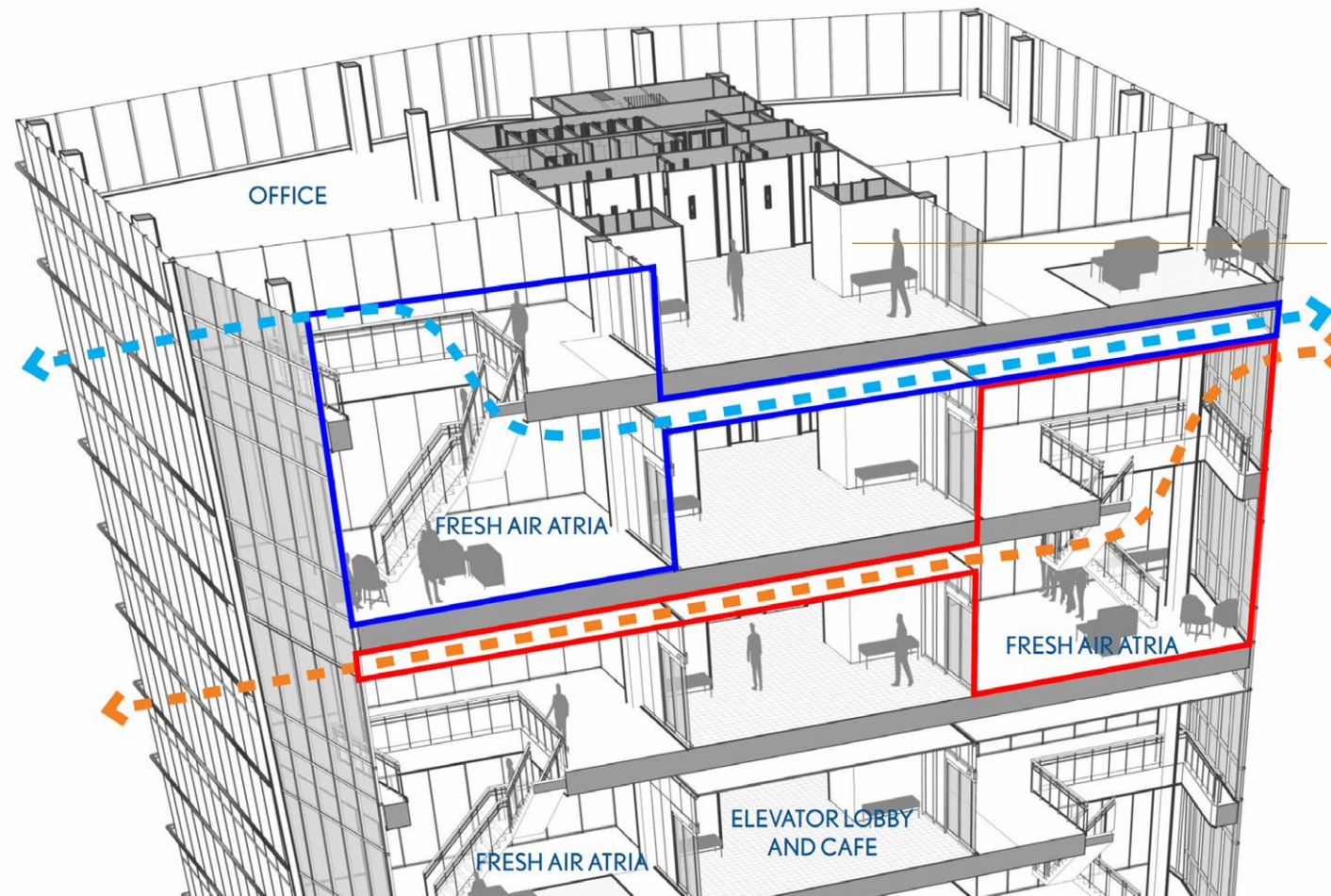
9 FOUNDATIONS OF A HEALTHY BUILDING



HEALTHY ENVIRONMENT

Alternating fresh air atria are woven vertically through the center of the building, uniting the Building Management Systems with Operable Windows to utilize the chimney effect, easing demands on the mechanical systems during favorable weather conditions. The plenum over elevator lobbies allows control of cross ventilation on a level by level basis at variable rates. The atria create opportunity to bring the outside within, including greenscape and aromatics.

FIFTY is designed and will be constructed within the ESG principles at the forefront, creating greater value—environmentally, socially and in terms of governance—through adherence to the following green building practices.



Air Quality

MERV 15 filters trap 95% of air particles

Ventilation

Living, breathing façade, operable windows create fresh air atria on alternating floors

Lighting and Views

2-story atrias capture natural light, 4 access points to outdoor terrace and skyline views

Noise

Acoustically designed demising partitions and façade

Water Quality

Will be GRESB standard certified for ESG Water Quality monitoring

Safety & Security

Elevator access direct from parking areas, reducing number of security touch points and frictionless access control systems create a safer and healthier environment

Dust & Pests

MERV 15 filters trap 95% of air particles of 0.3 – 1.0 microns

Moisture

State-of-the-art EMS systems manage relative humidity to 40% - 50% to reduce the risk of airborne pathogen transmission

Thermal Health

EMS systems employ machine learning, provide optimal thermal health in coordination with VIEW glass and HVAC

THE PROJECT TEAM



Turan Duda
Founding Principal
Duda Paine Architects



Alex Hay
Executive Director - Property
Drapac Capital Partners

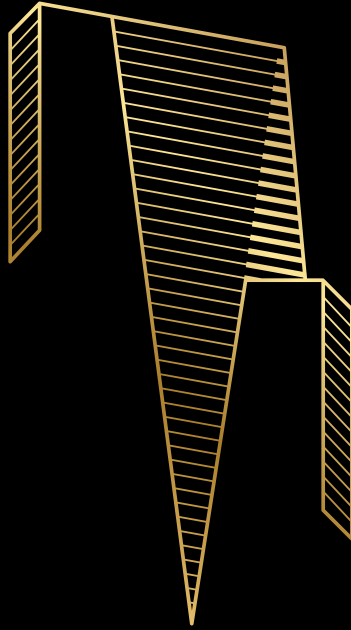


Christopher Dean
Senior Vice President
Stream Realty Partners



William Stark
Managing Director
Stream Realty Partners





Christopher Dean

404.962.8614

cdean@streamrealty.com

William Stark

404.962.8630

william.stark@streamrealty.com


STREAM